

# Wickersham's Guffey Residence - Phase II

868 Julia Road Guffey, CO 80820

**OWNER**  
RACHEL & DANIEL WICKERSHAM  
868 Julia Rd (County Line 104)  
Guffey CO 80820  
719-285-6884  
RACHEL O'CONNELL

**STRUCTURAL ENGINEER**  
STONE CREEK ENGINEERING  
7424 E Easter Ln  
Centennial CO 80112  
720-338-1786  
PHIL GIESLING

**ARCHITECT**  
RANDAL FRIESEN ARCHITECTURE, LLC  
5575 Sycamore St, Suite 314  
Littleton CO 80120  
303-898-4541  
RANDAL FRIESEN



**VICINITY MAP**  
Scale: NTS

**LEGAL DESCRIPTION**

LOT #30 - COVER MOUNTAIN RANCH, STATE OF COLORADO

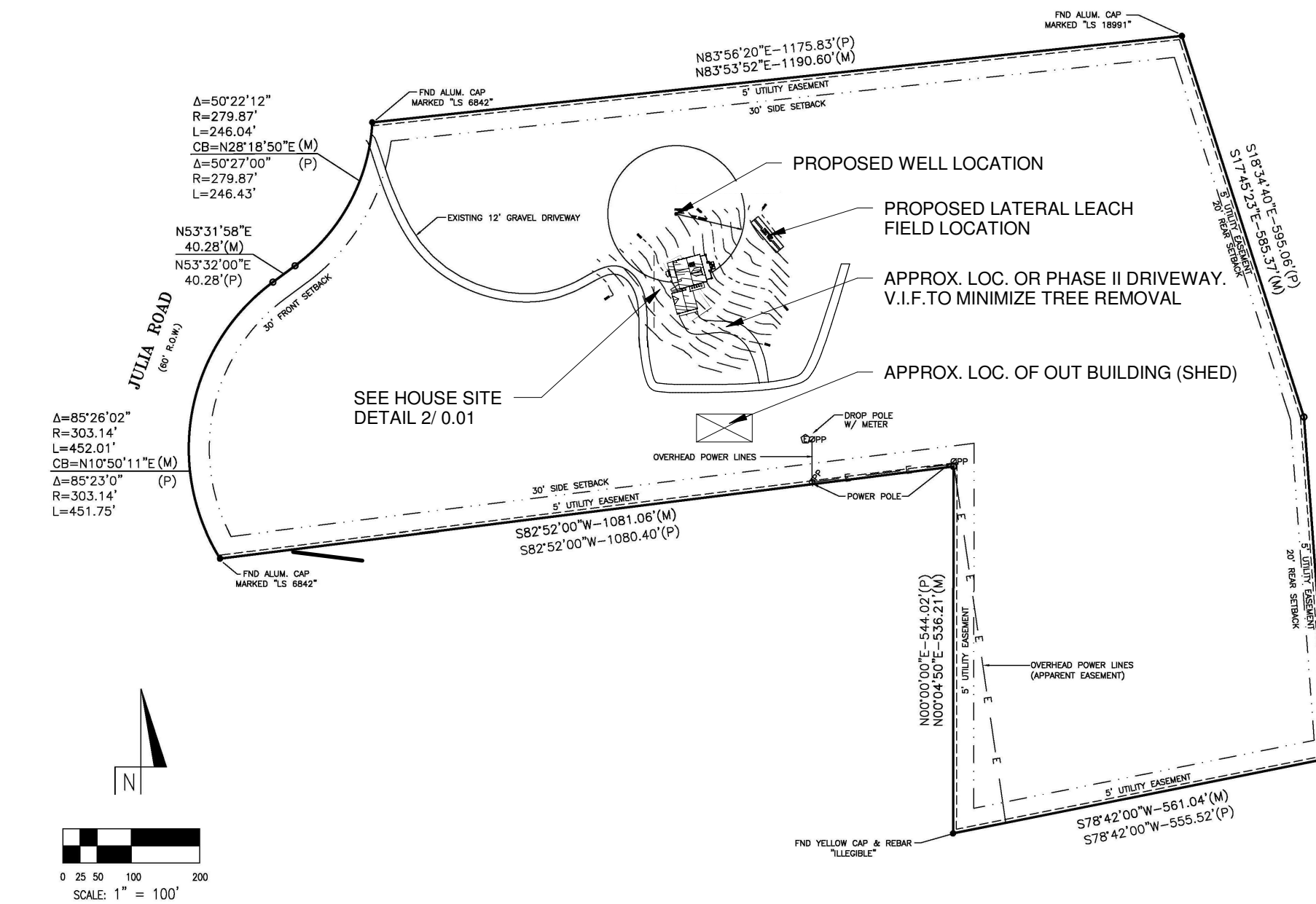
**PROJECT INFORMATION**

PROJECT NAME: WICKERSHAM'S GUFFEY RESIDENCE - PHASE II  
PROJECT ADDRESS: 868 JULIA RD, GUFFEY, CO 80820  
DESCRIPTION: ADDITION: 2 CAR GARAGE AND BREEZEWAY CONNECTION TO EXISTING HOUSE  
ZONING: RESIDENTIAL (R)

**BUILDING CODE CHECKLIST**

GOVERNING CODES: 2006 INTERNATIONAL RESIDENTIAL CODE  
2006 INTERNATIONAL MECHANICAL CODE  
2006 INTERNATIONAL FUEL AND GAS CODE

CONSTRUCTION TYPE: TYPE VB, NON-RATED  
OCCUPANCY TYPE: R-2  
CLIMATE ZONE FOR PARK COUNTY: ZONE 7B  
LOT SIZE: 26.201 ACRES  
BUILDING HEIGHT: ALLOWABLE PER ZONING 35'-0"  
PROPOSED GARAGE = 19'-6" AT GARAGE, 16'-0" AT (E) HOUSE MAIN LEVEL  
SQUARE FOOTAGE: EXISTING HOUSE (PHASE I) = 3293 SF  
PROPOSED GARAGE AND BREEZEWAY (PHASE II) = 745 SF



**OVERALL SITE PLAN - PHASE I AND II GARAGE**  
Scale: 1" = 200'-0"

NOTE: SITE SURVEY AND TOPOGRAPHICAL INFORMATION BY OTHERS

**ARCHITECTURAL MATERIALS**

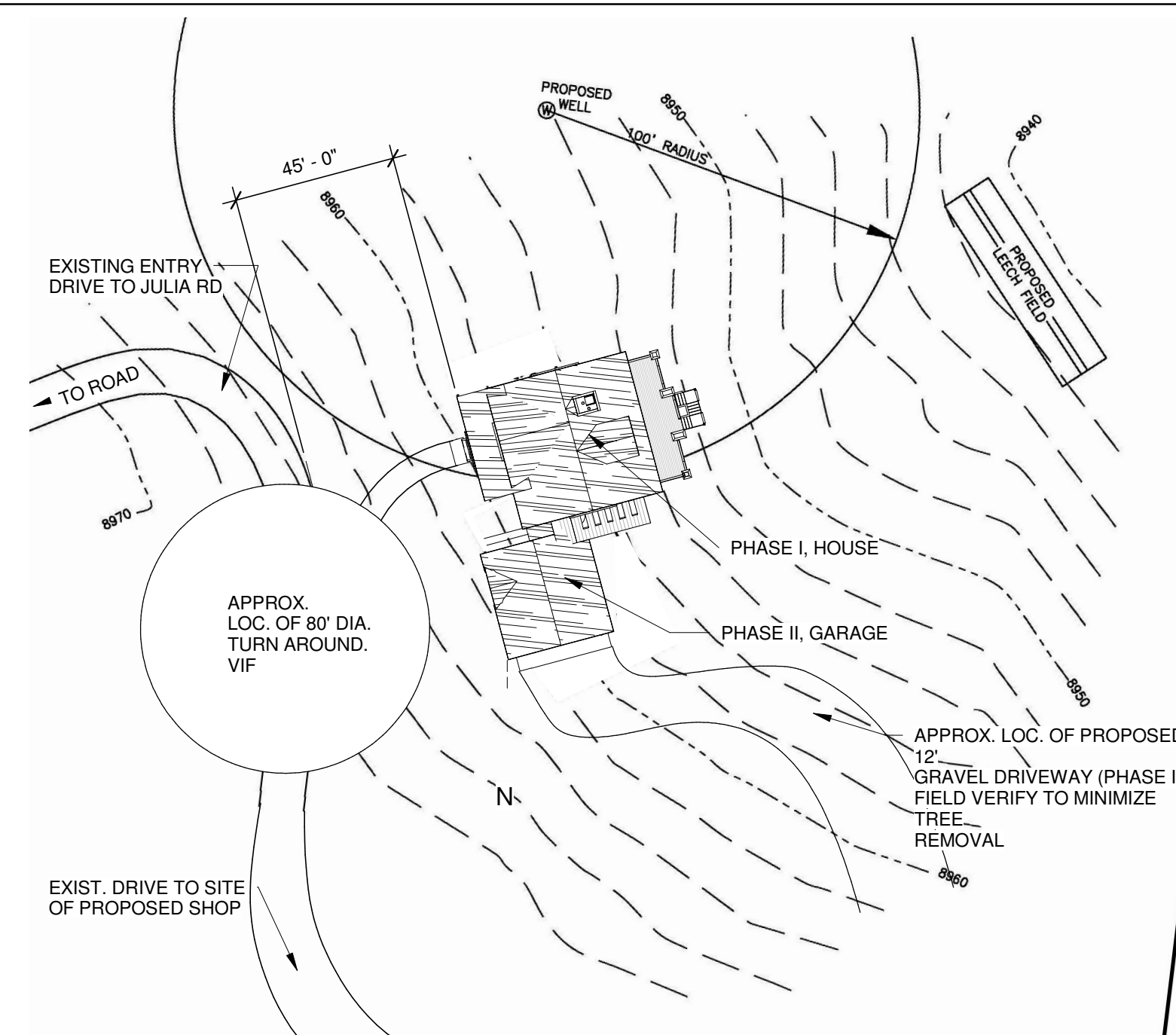
DETAIL INDICATIONS	
[Pattern]	ACOUSTIC TILE OR BOARD
[Pattern]	ASPHALT CONCRETE PAVING
[Pattern]	ROOFING
[Pattern]	BRICK
[Pattern]	CONCRETE
[Pattern]	PRECAST CONCRETE
[Pattern]	CONCRETE MASONRY UNIT
[Pattern]	EARTH / FINISH GRADE
[Pattern]	GLASS
[Pattern]	GRAVEL
[Pattern]	GYPSUM BOARD
[Pattern]	INSULATION, BATT
[Pattern]	INSULATION, RIGID
[Pattern]	MORTAR, PLASTER, SAND
[Pattern]	MDF
[Pattern]	PLYWOOD
[Pattern]	WOOD, FINISH
[Pattern]	WOOD FRAMING Continuous member
[Pattern]	WOOD FRAMING Interrupted member

**GRAPHIC STANDARDS**

[Symbol]	WINDOW TYPE
[Symbol]	REVISION
[Symbol]	WORK POINT, DATUM POINT, CONTROL POINT
[Symbol]	DETAIL Upper mark denotes drawing number Lower mark denotes sheet
[Symbol]	PARTIAL BUILDING SECTION
[Symbol]	INTERIOR ELEVATION Elevation number denoted in arrow Sheet number denoted in box
[Symbol]	ROOM IDENTIFICATION Room name (12345)
[Symbol]	CODED NOTE
[Symbol]	DASHED LINE Used to denote items hidden, overhead, future work phase, or to be removed
[Symbol]	BREAK LINE Material to continue
[Symbol]	CENTER LINE, GRID LINES
[Symbol]	PROPERTY LINE

**GENERAL ARCHITECTURAL & CONSTRUCTION NOTES**

- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DRAWINGS, DIMENSIONS, SPECIFICATIONS AND SCHEDULES PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION. NOTIFY ARCHITECT IMMEDIATELY OF ANY UNCERTAINTY OR DISCREPANCY.
- DRAWINGS SHALL NOT BE SCALED. CLARIFICATIONS TO BE SUBMITTED IN THE FORM OF R.F.I.'S TO THE ARCHITECT OR STRUCTURAL ENGINEER, AS APPLICABLE, PRIOR TO ANY MODIFICATIONS TO PLANS DURING CONSTRUCTION.
- ALL ASPECTS OF PROJECT ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2006. ALL LOCAL CODES NOT COVERED IN PLANS MUST BE CONFORMED TO.
- WHERE NOTES ON THE DRAWINGS INDICATE A CONDITION AT ONE LOCATION, WHETHER INDICATED AS TYPICAL OR NOT, THE NOTE SHALL APPLY TO ALL SIMILAR LOCATIONS UNO.
- MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN SHALL BE BY M.E.P. CONTRACTORS AS DESIGN/BUILD. MECHANICAL AND ELECTRICAL SUBCONTRACTORS TO PROVIDE APPLICABLE DESIGN DRAWINGS AND LOAD CALCULATIONS PER CODE AS REQ'D BY BUILDING DEPARTMENT.
- DIMENSIONS ARE TYPICALLY TAKEN TO GRID LINE, OUTSIDE FACE OF STUD WALL OR STRUCTURAL COLUMN @ FRAMED WALLS, UNLESS NOTED OTHERWISE OR INDICATED ON DETAILS.
- EXTERIOR STUD SIZES ARE AS SPECIFIED IN STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL SPECIFIC REQUIREMENTS.
- REFER TO ENLARGED PLANS FOR DIMENSIONS & NOTES.
- PROVIDE A MINIMUM OF R-21 BATT INSULATION IN ALL WALLS, AND CAULK SILL PLATES AND GYP. BD. AT ALL PERIMETERS PER CODE.
- PROVIDE A MINIMUM OF R-49 INSULATION AT HOUSE ROOFS PER CODE. BIB HP INSULATION (OR EQUAL) WITH AN OWNER OPTION OF POLYISO FOAM/BATT INSULATION.
- PROVIDE ALL NECESSARY AND PROPER BLOCKING SUBSTRATE, ATTACHMENT BLOCKOUTS AND MISC. ITEMS MAY BE REQUIRED OR REASONABLY INFERRED, WHETHER SHOWN OR NOT ON THE DOCUMENTS, FOR PROPER INTEGRATION AND COMPLETION OF THE WORK. FIREBLOCK AT ALL SOFFITS, CHASES, & LOWERED CEILINGS PER CODE.
- PROVIDE VAPOR RETARDER ON WARM (INTERIOR) SIDE AT ALL EXTERIOR WALLS AND UNDER SLAB ON GRADE PER DETAILS AND CODE.
- ELEVATION HEIGHTS NOTED ON EXTERIOR ELEVATIONS AND SECTIONS ARE TO TOP OF FINISHED FLOOR U.N.O.
- UTILITY, SITE IMPROVEMENTS, SOILS REPORT, AND CIVIL WORK NOT PART OF THESE DRAWINGS.
- THE CONTRACTOR SHALL SLOPE GRADE AROUND BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL WALLS AND STRUCTURES.
- PROVIDE 26 GA. METAL FLASHING AT ALL WALL TO WALL, ROOF TO WALL, AND ROOF TO ROOF TRANSITIONS WITH 4" MIN. LAP TO ALL SURFACES PRIOR TO APPLYING BUILDING PAPER, UNO.
- PROVIDE PRESSURE-TREATED WOOD WHERE INSTALLED NEXT TO CONCRETE, TYPICAL PER CODE.
- FIREBLOCK AT ALL SOFFITS, CHASES, LOWERED CEILINGS PER CODE.
- FINISH WALL, CEILING, AND FLOOR MATERIALS SELECTED AND APPROVED BY OWNER.
- ALL DOWNSPOUT LOCATIONS TO BE VERIFIED IN FIELD. PROVIDE SPLASH BLOCKS AT ALL LOCATIONS.
- ALL INTERIOR WALLS ARE 2X4 WD STUD W/1/2" GYPBD EA. SIDE U.N.O.
- ALL EXTERIOR WALLS ARE 2X6 WD STUD W/PLYWD ON THE EXTERIOR AND 1/2" GYPBD ON THE INTERIOR, U.N.O.
- EXTERIOR WOOD STAIRS TO MEET CODE, TYP.



**HOUSE SITE DETAIL PHASE I & PHASE II GARAGE**  
Scale: 1" = 40'-0"

NOTE: SITE SURVEY AND TOPOGRAPHICAL INFORMATION BY OTHERS

**INDEX OF DRAWINGS - PHASE II**

00 GENERAL	0.00 COVER SHEET
06 ARCHITECTURAL	A1.00 DEMOLITION PLAN
	A2.00 PLANS
	A4.00 EXTERIOR ELEVATIONS
	A5.00 BUILDING SECTIONS & DETAILS
	ME2.00 MECHANICAL-ELECTRICAL GARAGE FLOOR PLAN
STRUCTURAL	
S-1	STRUCTURAL

Wickersham's Guffey Residence - Phase II

868 JULIA ROAD (COUNTY ROAD 204) GUFFEY, COLORADO 80820

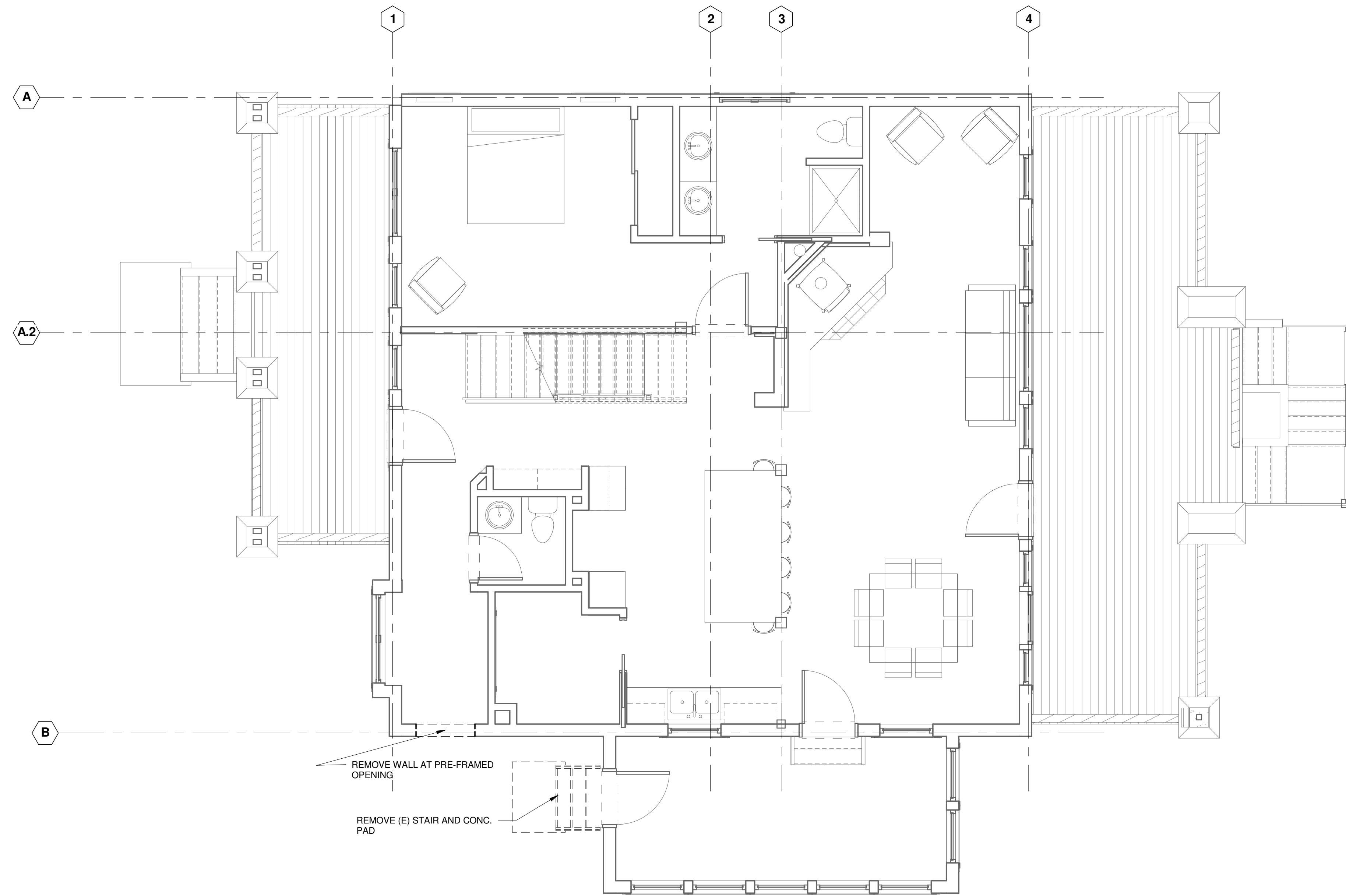
**RANDAL FRIESEN ARCHITECTURE**  
5575 S. SYCAMORE STREET, SUITE 314  
LITTLETON, COLORADO 80120-1146  
(303) 898-4541

RFA NO: #013-GUF  
DRAWN: CB  
CHECKED: RCF  
DATE: 04/08/14  
ISSUE: PERMIT

**0.00**

COVER SHEET

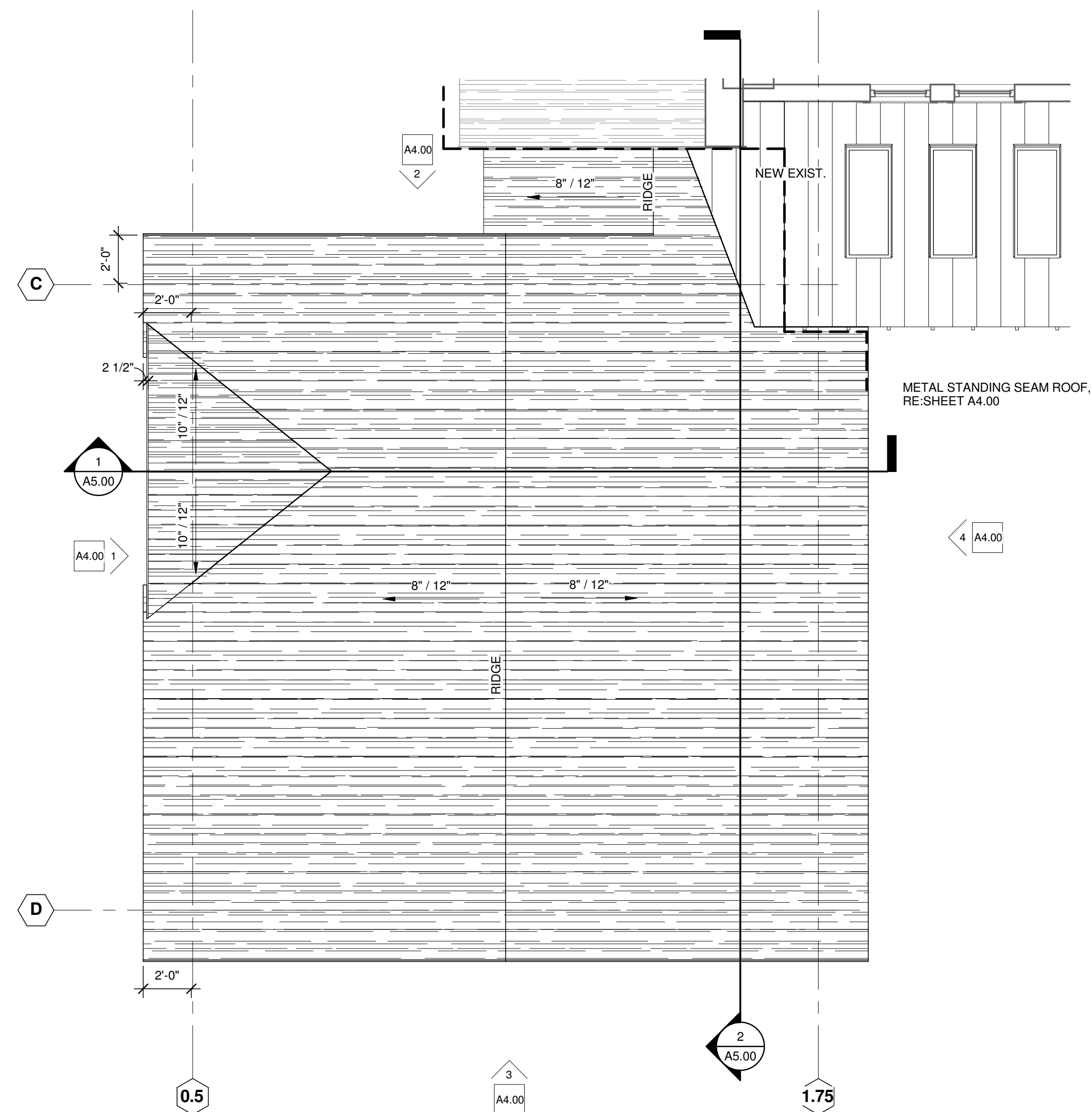
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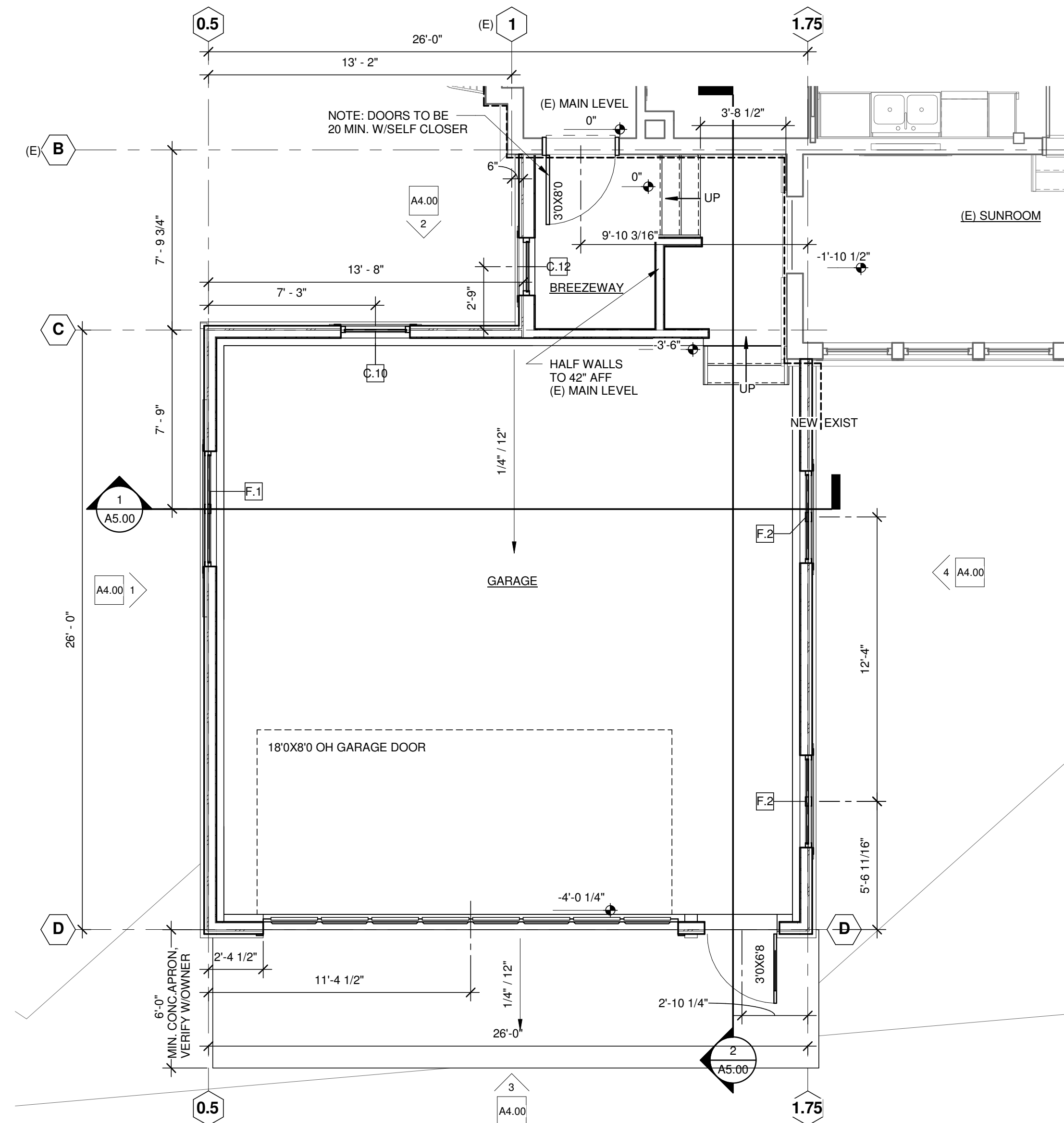
**1** DEMOLITION PLAN - MAIN LEVEL  
Scale: 1/4" = 1'-0"

**DEMOLITION GENERAL NOTES**

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING OF ALL STRUCTURAL ELEMENTS TO REMAIN AS REQUIRED DURING DEMOLITION
2. GENERAL CONTRACTOR SHALL PATCH AND/OR RESTORE TO MATCH THE EXISTING ADJACENT SURFACES AND ANY SURFACE DISTURBED AS A RESULT OF THE DEMOLITION
3. ALL ITEMS TO BE SALVAGED FOR RE-USE SHALL BE STORED IN A CAREFUL MANNER SO NO DAMAGE IS INCURRED.
4. THE DEMOLITION CONTRACTOR AND GENERAL CONTRACTOR ARE TO VISIT THE SITE TO VERIFY ACTUAL CONDITIONS. INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO DEMOLITION OF AREAS IN QUESTION.
5. INTERRUPTION OF HEATING, POWER, FIRE PROTECTIONS, AND ANCILLARY SYSTEMS SHALL BE COORDINATED WITH THE OWNER AND LOCAL AUTHORITIES IN ADVANCE.



**2 ROOF PLAN @ GARAGE**  
Scale: 1/4" = 1'-0"



**1 GARAGE LEVEL FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**GENERAL ROOF NOTES**

- CONTRACTOR TO VERIFY HEIGHTS OF EXISTING ROOFS PRIOR TO CONSTRUCTION.
- TYPICAL ROOF CONSTRUCTION IS COMPOSITION SHINGLES AND MOISTURE BARRIER OVER STRUCTURAL PLYWOOD DECK ON 2X4 COLD ROOF OVER MOISTURE BARRIER ON PLYWOOD DECK AND JOISTS. RE: STRUCTURAL.
- PROVIDE ROOF VENTILATION PER BUILDING CODE REQUIREMENTS W/ENGINEERED RIDGE VENTS AND SOFFIT VENTS
- VENTS, EXHAUST, & COWLS ARE MECHANICAL ROOF PENETRATION ITEMS. IF REQ'D. PENETRATIONS SHALL BE MIN 18" FROM ANY RIDGE VALLEY HIP, OR EDGE OF ROOF.
- ALL FLASHING & ROOFING TIE-INS TO PLUMBING & HVAC PENETRATIONS ARE BY ROOFING CONTRACTOR.
- SEE EXTERIOR ELEVATIONS FOR ADDITIONAL ROOFING DETAIL INDICATIONS.
- PROVIDE METAL FLASHING WHERE ROOFING MEETS WALLS - 2" EXPOSURE OF 8" VERTICAL AND RUN 8" HORIZ. UNDER ROOFING

**LEGEND**

- DIRECTION OF SLOPE TO DRAIN
- DOWNSPOUT

**Window Type Schedule - PHASE II**

Type Mark	Family	Type	Glass Material	Count	Comments
C.10	Single Casement	3'-0"x5'-0"		1	GARAGE
C.11	Single Casement	2'-6" x 3'-0"		1	GARAGE
C.12	Single Casement	2'-6"x4'-6"		1	GARAGE
F.1	Double Casement	5'-0" x 5'-0"		1	GARAGE
F.2	Double Casement	4'-0"x4'-0"		2	GARAGE

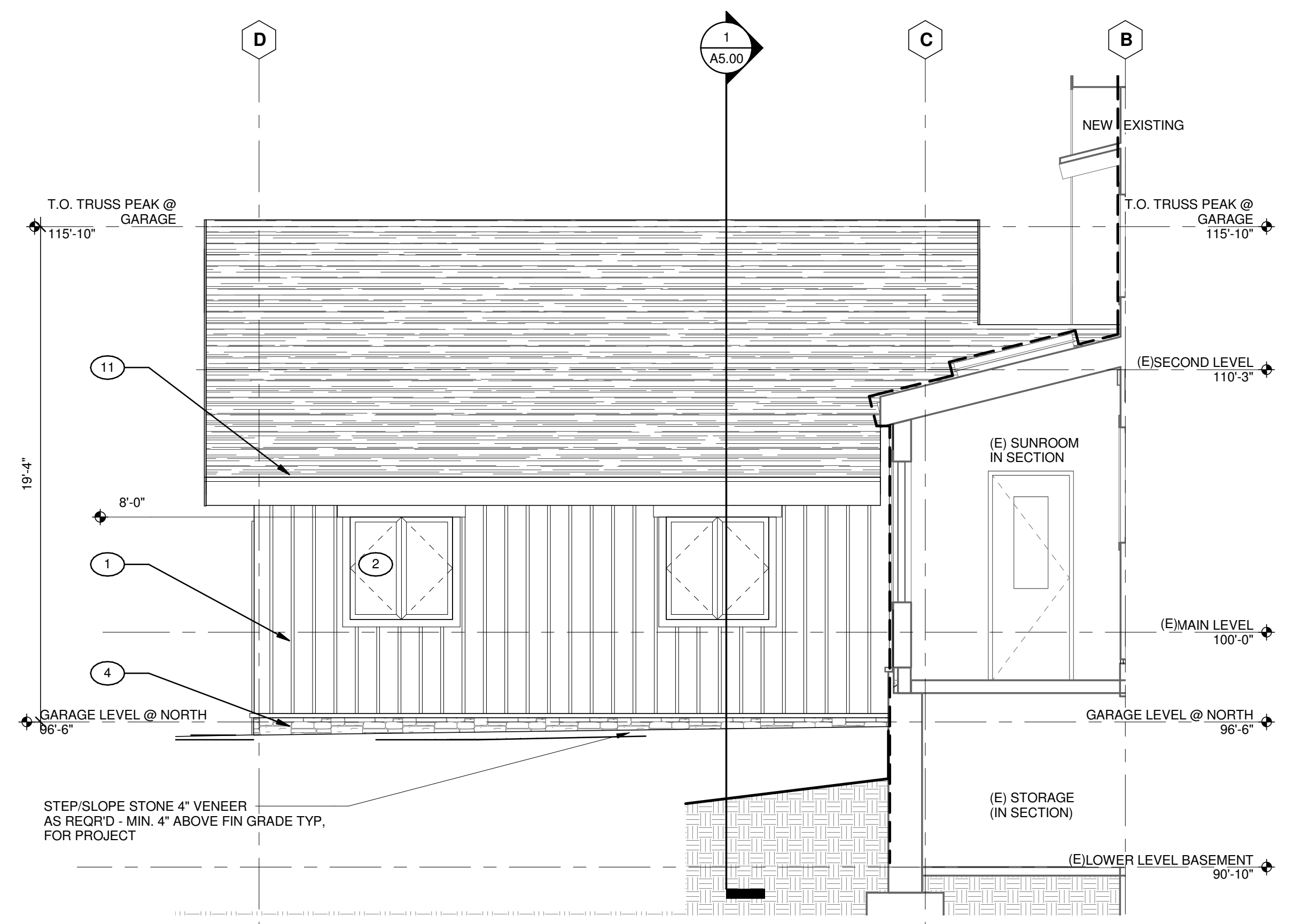
**WINDOW NOTES**

- WINDOW DIMENSIONS SHOWN INDICATE ROUGH OPENINGS. FIELD VERIFY ACTUAL OPENING DIMENSION.
- REFER TO SPECIFICATIONS FOR LOCATIONS OF LAMINATED AND TEMPERED GLASS.
- ALL EXTERIOR GLAZING TO BE CERTIFIED BY INDEPENDENT AGENCY FOR SOLAR HEAT GAIN COEFFICIENT AND U-VALUE. PARK COUNTY IS IN CLIMATE ZONE 7B. ALL FENESTRATION MUST HAVE A MAXIMUM U-FACTOR OF 0.35 AND SKYLIGHTS MUST HAVE A MAXIMUM U-FACTOR OF 0.60.
- MILGARD 'ULTRA' SERIES FIBERGLASS FRAME WINDOW BASIS OF DESIGN.
- VELUX SOLAR POWERED 'FRESH AIR' SKYLIGHT BASIS OF SKYLIGHT DESIGN.

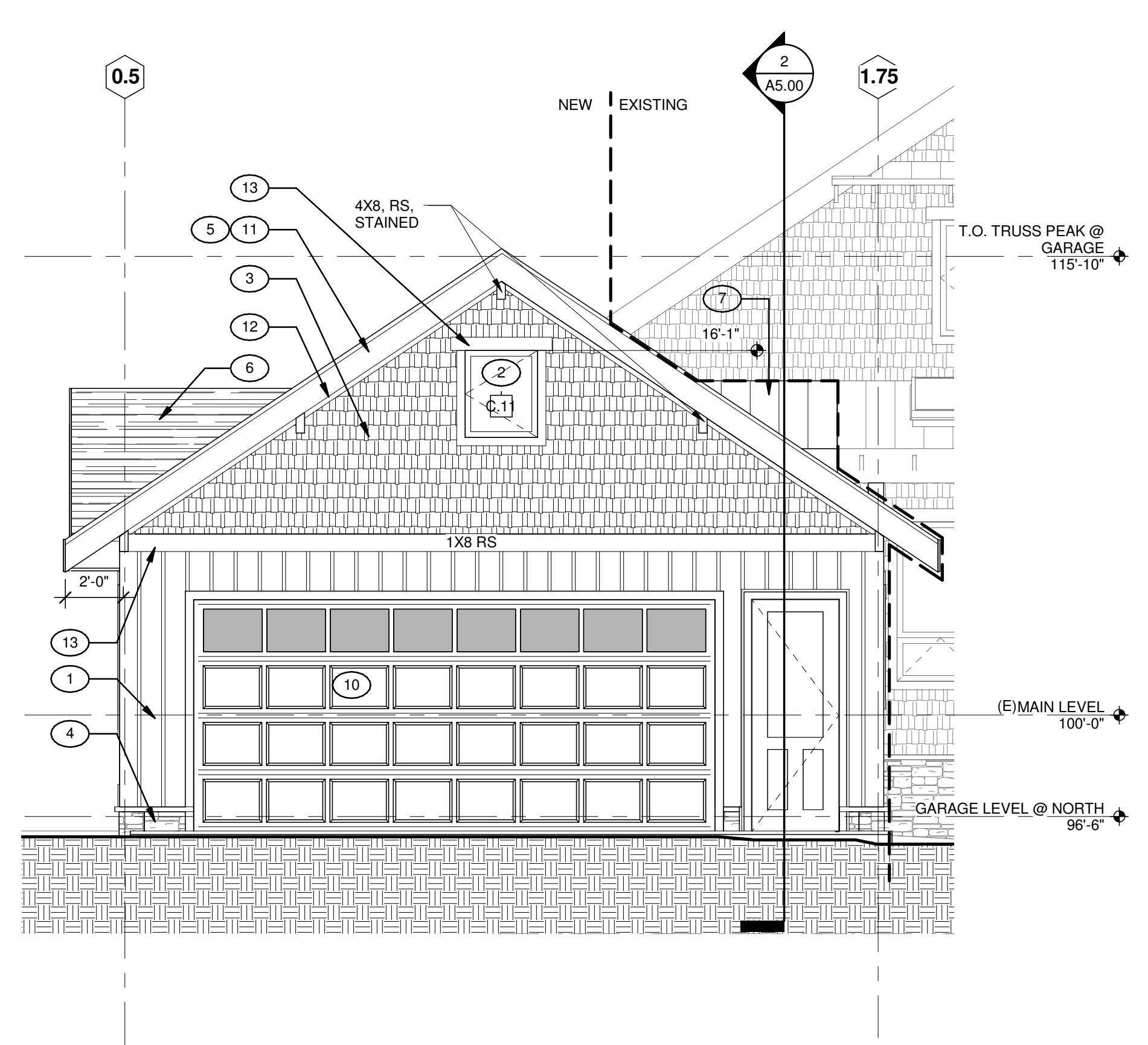
**EXTERIOR LEGEND & FINISH DATA, PHASE II**

- 1.) VERTICAL JAMES HARDIE 'CEDAR' PLANK W/ BATTENS. 6" exposure (VIF), PAINTED TO MATCH EXISTING.
- 2.) WINDOWS : Milgard 'ULTRA' SERIES FIBERGLASS WINDOWS, COLOR:
- 3.) JAMES HARDIE 'HARDIESHINGLE' SHAKE SIDING, PAINTED TO MATCH EXISTING
- 4.) CULTURED FAUX STONE AND CAP: LEDGESTONE PATTERN TO MATCH (E)
- 5.) 1X CEMENT BOARD, WD GRAIN, RS RE: DIMENSIONS ON DETAILS/SECTIONS, PAINTED
- 6.) ASPHALT ROOF TO MATCH (E)
- 7.) METAL ROOF: BERRIDGE 'TEE PANEL' STANDING SEAM ROOF TO MATCH EXIST
- 8.) N/A
- 9.) PREFINISHED GUTTER AND DOWNSPOUT TO MATCH EXISTING
- 10.) CUSTOM 8'-0" X 18'-0" GARAGE INSULATED AUTOMATIC GARAGE DOOR.
- 11. PRE-FIN MTL. FLASHING
- 12. BRICK MOULD TRIM, PAINTED
- 13. PAINTED 1X4 WINDOW TRIM, JAMBS, & 1X6 HEADERS
- 14. 4X10 BEAM EXTENSIONS CUT TOP TO ROOF SLOPE, STAIN
- 15. 1X4 PAINTED CORNER TRIM & OUTSIDE CORNERS OF MATERIAL #3.
- 16. 1X8 STAINED WD TRIM BELLY BAN

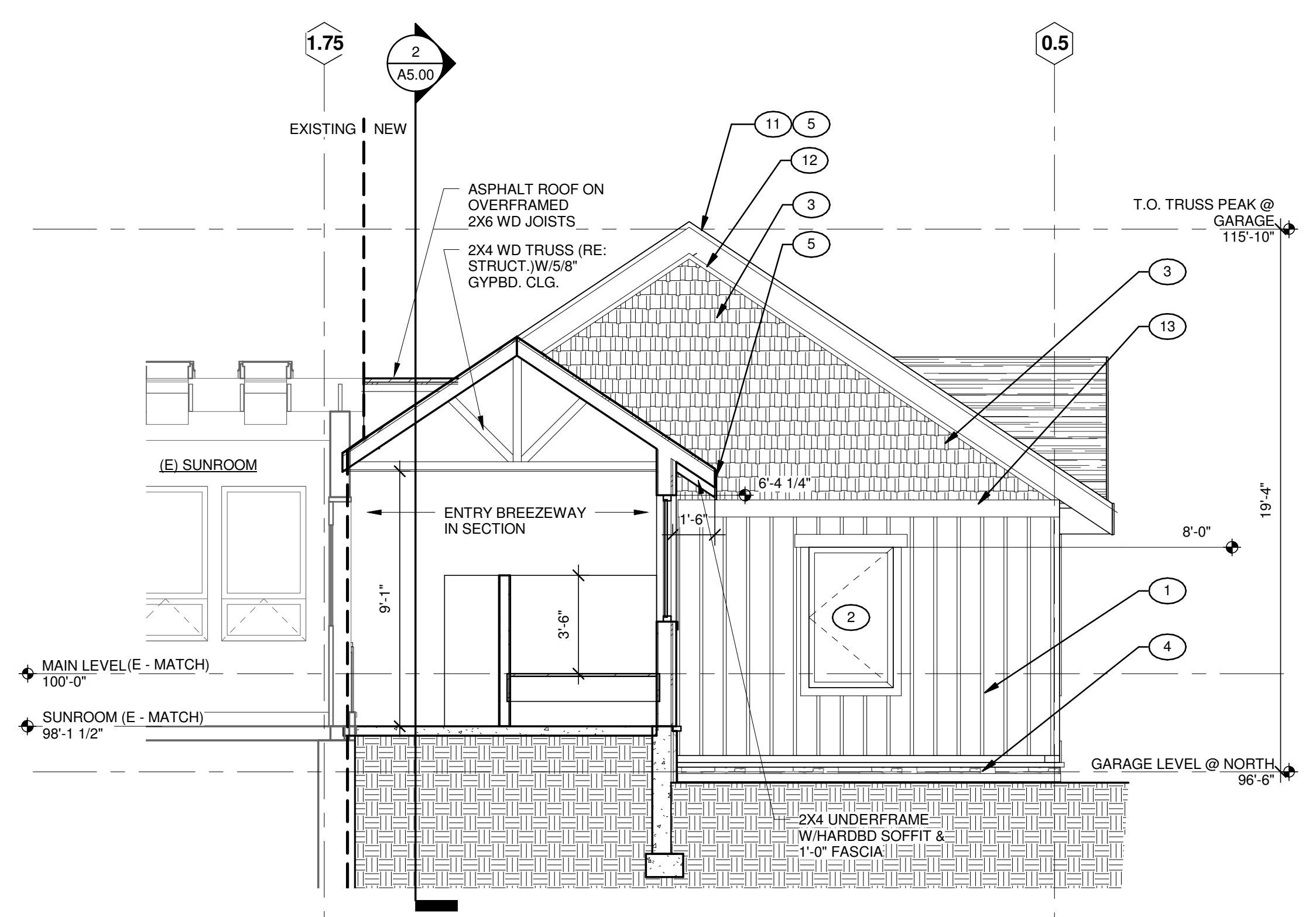
- T TEMPERED GLASS
- NOTES:
- 1. EXPOSED CONCRETE: ANY EXPOSED CONCRETE SHALL HAVE A LIGHT, ONE DIRECTIONAL, SMOOTH BROOM FINISH.
  - 2. WOOD TRIM @ DOORS AND WINDOWS: ALL EXPOSED EXTERIOR WOOD LUMBER @ DOORS AND WINDOWS SHALL BE #1, SMOOTH AND FREE OF KNOTS, ROUGH UNFINISHED APPEARANCE OR OTHER IMPERFECTIONS.
  - 3. WOOD FASCIA, EAVES, AND MISC. TRIM: TO BE ROUGH SAWN



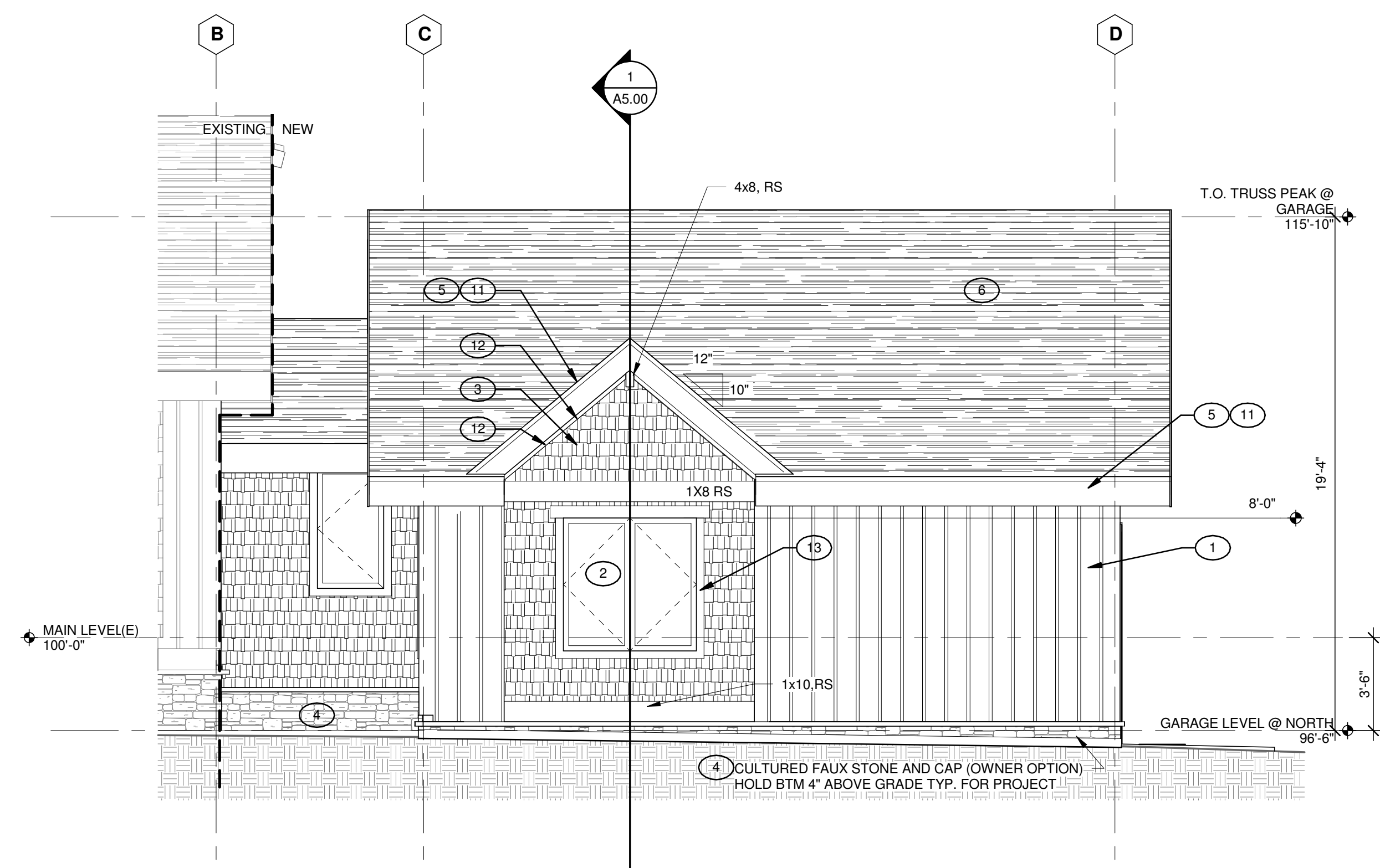
**4 EAST ELEVATION - GARAGE**  
 Scale: 1/4" = 1'-0"



**3 SOUTH ELEVATION - GARAGE**  
 Scale: 1/4" = 1'-0"

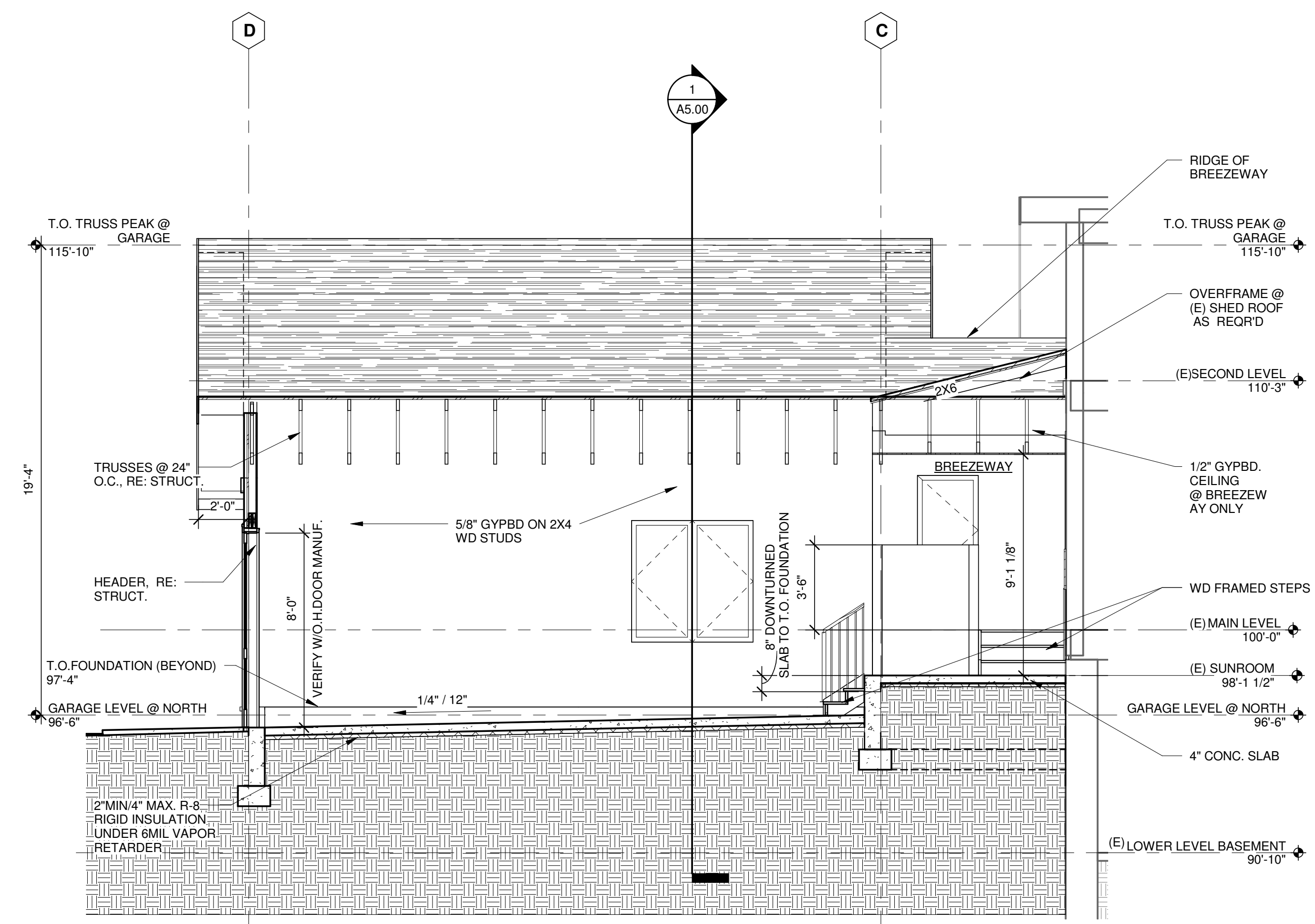


**2 NORTH ELEVATION/SECTION - GARAGE**  
 Scale: 1/4" = 1'-0"

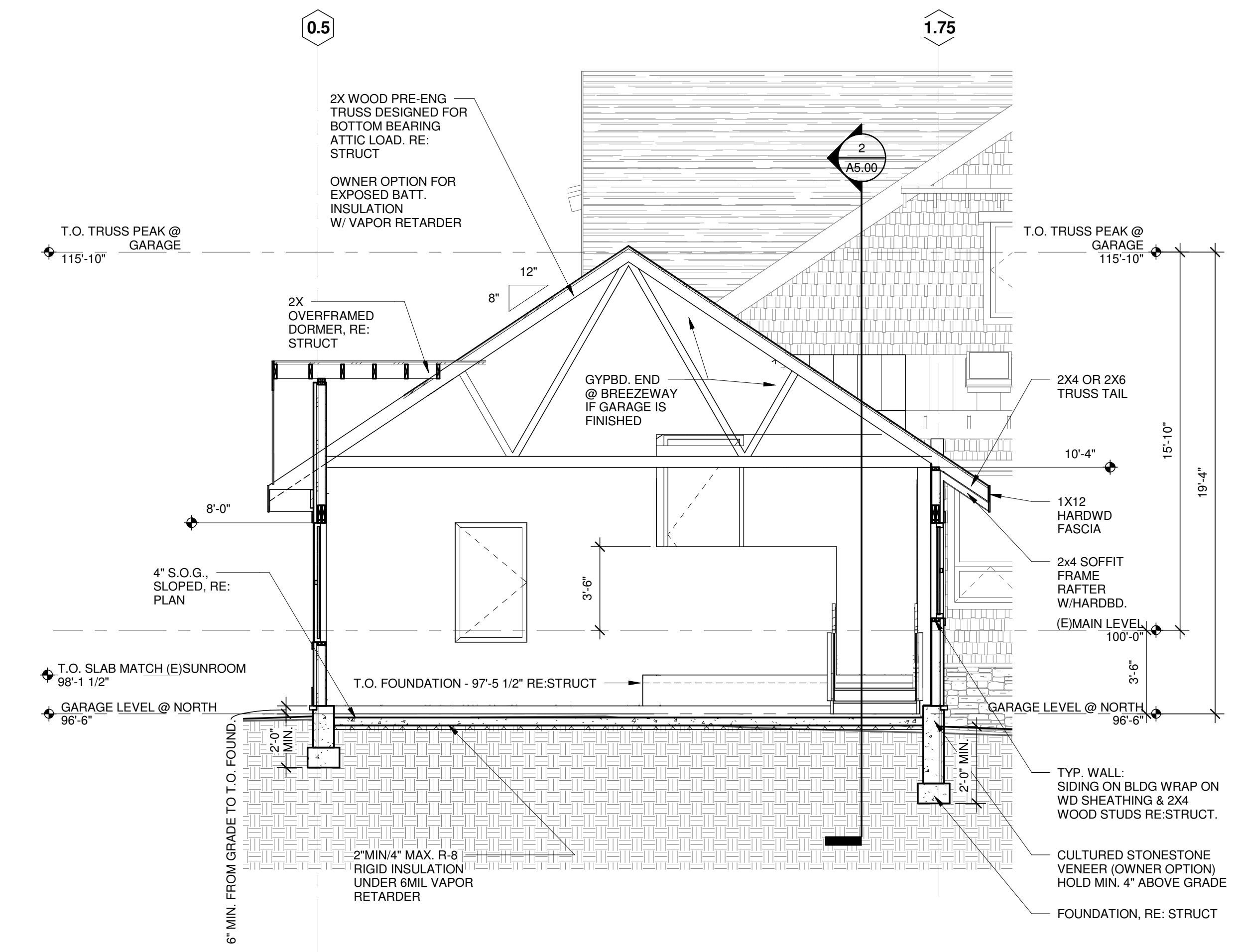


**1 WEST ELEVATION - GARAGE**  
 Scale: 1/4" = 1'-0"





**2** BUILDING SECTION NORTH SOUTH  
Scale: 1/4" = 1'-0"



**1** BUILDING SECTION E-W @ GARAGE  
Scale: 1/4" = 1'-0"